

TOWN OF MAYNARD

FACADE IMPROVEMENT PROGRAM



I · N · V · E · N · T · O · R · Y

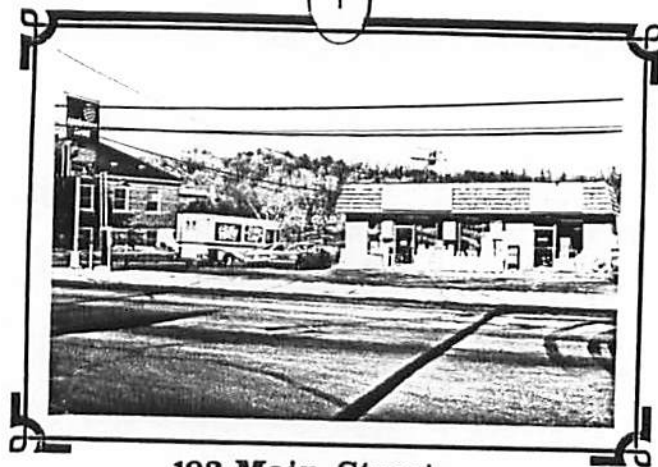
Lane, Frenchman and Associates, Inc.

The following inventory serves to document the Town of Maynard's commercial district as it now stands, in 1985. This analysis of Maynard has been commissioned as part of the Facade Improvement Program funded by the Massachusetts Small Cities Program. Through the Small Cities Program, design assistance and low-interest financing is being made available to merchants and property owners. This study provides direction for this investment, as well as for future investors who want to build on the accomplishments of the program.

The inventory is the first step in the Facade Improvement Program. In it, each commercial property in the districts is noted. A general description of the property records historic information (if it is known) and a building's importance to its setting. Items to preserve, elements which should be respected in rehabilitation, are listed; these should be respected whether "rehab" occurs as part of the Small Cities Program or independently. Finally, recommendations for improvements are listed, in order of priority.

Actual guidelines for revitalization are illustrated in an accompanying report. Guidelines are specific approaches that a building owner should follow in designing renovations. Demonstration projects, designs for the rehabilitation of four Maynard buildings, illustrate the principles set forth in the guidelines.

The Facade Improvement Program is one element of a comprehensive Community Development Program designed for Maynard. Other elements of the program include financial and technical assistance for housing rehabilitation and public improvements in the downtown area. Further information on any aspect of this program can be obtained from the Community Development Office, Maynard Town Building, 897-5346.



193 Main Street

Cumberland Farms/Donut Shop

It is unfortunate that "highway strip" buildings, such as this structure, have been placed along Main Street. The fact that these buildings sit back from the sidewalk, maintain broad curb cuts along the street, and profile cars parked to their front destroys the historic Main Street imagery. The oversized freestanding signs cater to people driving by in cars, rather than to pedestrians. It is particularly unfortunate that the sign blocks the view of the Town Building.

Recommendations Landscaping improvements should be made to reduce the overly wide curb cut to a simple "in" and "out". A low planting buffer should be placed along the sidewalk; a low hedgerow would not obliterate a view of the store, but rather, enhance one's view of the Town Building.

- The freestanding sign should be replaced with a smaller scale sign at the middle of the property (incorporated into the landscaping) rather than at the corner.
- If this structure is ever renovated, its facade should be made to look more "village" like, by providing a simple gable front and a white clapboard facade.



185-187 Main Street

H & R Block/PH

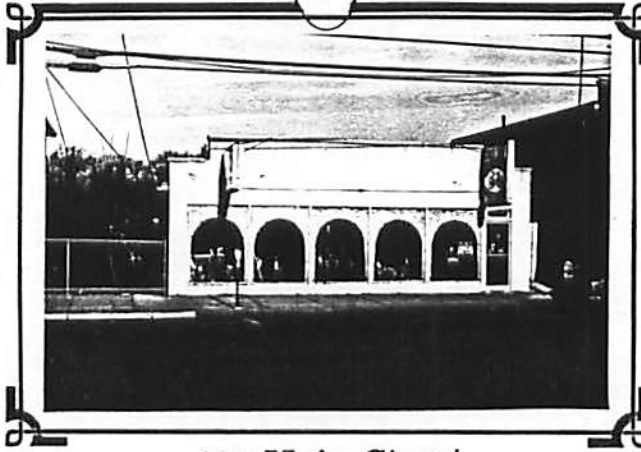
This charming brick storefront, added many years ago to the front of this large house, remains a lively addition to Main Street. It is simply but elegantly proportioned. Handsomely, the central door is surrounded by brick piers which rise above the side pieces.

The storefronts are fine examples of 1930's commercial building. Features of note include the black and white striped tile bases with aluminum grills and the storefront clerestory panels with grided, etched glass. The owners have carefully selected the brick red paint on the doors and trim.

Items to Preserve The brick architectural frame, particularly its raised entry piers.

- The striped tile storefront base and stainless steel grille.
- The well proportioned storefront, including the base, the tall glass middle, and the clerestory upper panels.

Recommendations The H&R Block projecting sign is too large and awkwardly placed. A small projecting sign should replace it and be centered over the entry door to H&R Block.



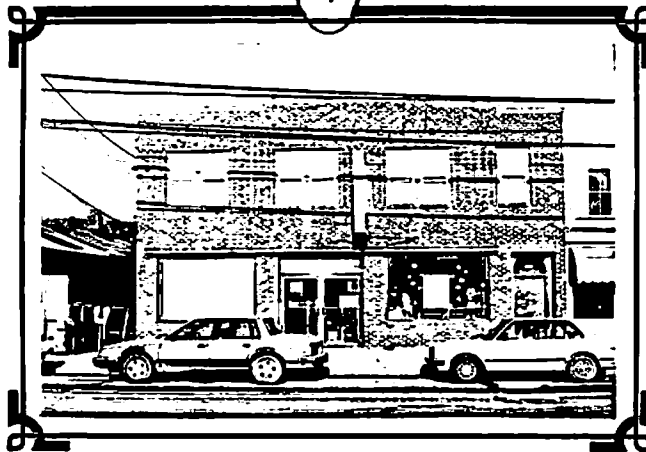
183 Main Street

Ray & Sons Schwinn Cyclery

This one-story storefront has a tall upper facade that remains quite blank. The heavily mottled stucco is too textured for the facade.

Recommendations Provide horizontal and vertical wood trim on the upper portion of the facade to add interest. Paint the background and the trim in contrasting colors in a light color palette.

- Remove the oversized projecting signs and replace them with smaller, wood signs. Design long, horizontal wall mounted signs to fit the facade above.



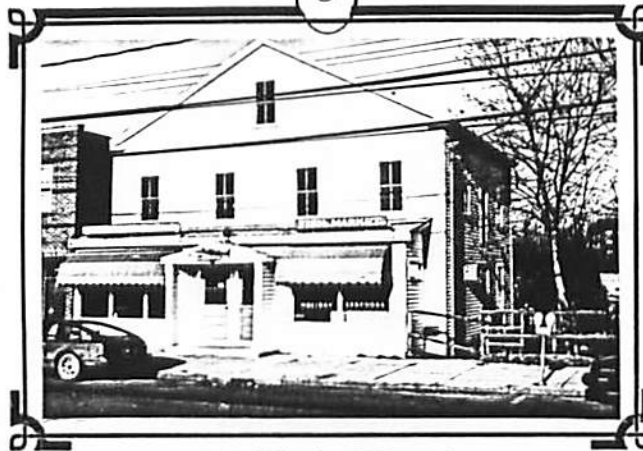
179 Main Street
Crimson Travel Service

This plain, two-story brick building is simple in its detail but handsome in its symmetry. The stepped cornice line provides an elegant top to the building.

Items to Preserve The brick facade, including its stepped cornice line.

Recommendations The projecting sign is too large and should be removed and replaced with a smaller sign. Wall mounted signs above each storefront should be added as well.

- The awnings should be replaced.



177 Main Street

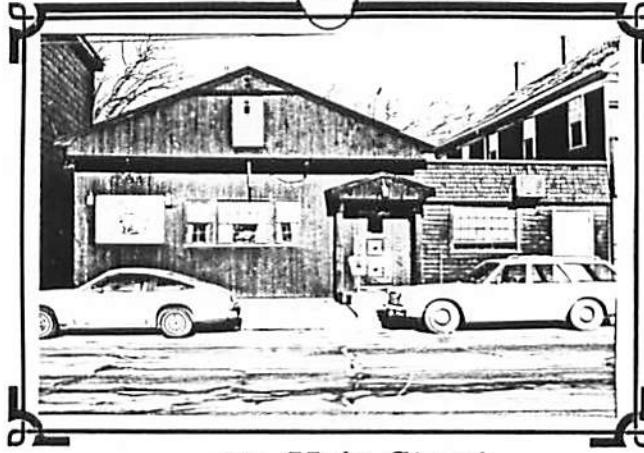
Quarterdeck Seafood Restaurant & Market

The pristine white paint of this facade contrasted by the vibrant blue awnings creates not only a proper image for a seafood restaurant but also provides a charming storefront along this section of Main Street. The small entry vestibule adorned with a fish silhouette is a clever addition. Signage is appropriate scaled and restrained.

Items to Preserve The houselike imagery of this property.

- The white clapboard facade.
- The storefront, including its signage and awnings.

Recommendations None.



163 Main Street
Sit'n Bull Restaurant

This small building retains little of its original house imagery. The addition of vertical siding & shingles, painted dark brown, creates a somber appearance. The small windows allow few views into the restaurant while the solid wall does not allow activity along the street.

Items to Preserve The gable front facing the street, if the building remains a single story.

Recommendations Renovation of this structure should strive to combine the two disparate pieces of the facade. At the base, a continuous porchfront treatment similar to that of the Quarterdeck Restaurant (Property 5) will allow smaller windows to fit into a separate frame.

- If the facade is redesigned, wood clapboard should be used throughout.
- The building should be painted in a lighter color palette.



161 Main Street
Foley Floor & Tile

The renovation of this large house into a store, was carried out in a rather crude manner. Upper floor windows were covered with vertical siding, an overscaled signband was added, and the base of the wood frame house was sheathed in brick. The resulting image, although well maintained, retains little similarity to the original house. The brown color of the upper facade is too dark, the choice of brick for the base is an awkward contrast to the wood frame imagery.

Recommendations Remove the brick base, signband and vertical siding and replace the original clapboard facade, upper floor windows and trim. Provide a storefront base that is similar to those typically placed on a wood frame, multi-story building (see Guidelines). Allow signage to fit into the architectural frame rather than cover it.

- Paint the upper floor in a white color, contrasting trim.



157 Main Street

The Red Door

This house converted into a bar on its ground floor retains its original gable front and bay windows, but has been drastically altered at its base. The asphalt sheathing is not a handsome facade material and is too dark; it is likely that the original clapboard remains beneath this covering. When the porch front was altered to suit the bar, the front wall was infilled and solid doors replaced original Victorian wood doors. The sign is overscaled and inappropriate.

Items to Preserve The house imagery.

- Upper floor window and trim.
- Deep eaves.

Recommendations The building is in need of a new facing; traditional horizontal clapboard should be used. If the original clapboard exists beneath the current facing material, it should be exposed, repaired as necessary, and repainted. If the original clapboard is beyond repair or was removed, it should be replaced.

- A new base should be built, similar to an enclosed porch front. (A good example is Property 5). If possible, it should incorporate the existing porch roof.
- Air conditioners should be relocated to side walls, if at all possible.



151 Main Street

Main Street Auto Service



At one time, a charming railroad station occupied this site at the rail crossing. Ornate wood scrollwork capped the gable ends of the station and a wide overhang shielded waiting passengers from inclement weather. It is not known when this structure was destroyed.

The Gulf Station which now occupies the site is prototypical of gas station design and is obviously sited well for traffic moving on and off of the street. Although the station is well maintained, its orange roof is quite a bright contrast to other structures in town.

Recommendations The extremely long curb cut should be reduced to an "entry" and an "exit", with plantings placed along the street between these openings. The triangular corner should be marked with a low wall or plantings.



149, 151 Main Street

Maynard Pizza House/Goddard Goldsmith

Built to the front and side of a house, this single-story retail block is well proportioned and simply detailed. The old aluminum storefront, circa 1950, has rounded members and etched glass, clerestory windows. The simple wood panel top is appropriate.

Items to Preserve The low, one-story massing is appropriate for a storefront added to a house.

- The image of the storefront system, with its brick base, tall glass panes and clerestory should remain even if glazing is replaced at some point.

Recommendations The wood top needs to be scraped and repainted. When this is done, the vertical bands and the top and the bottom edges should be painted a contrasting color to add interest to the facade.

- The projecting pizza sign is oversized and should be replaced.



147 Main Street

Offices

Although converted to business usage, this two-story house retains its stately home appearance. The simple sign to the side of the door is appropriately sized; the simple bay windows and entry portico remain.

Items to Preserve The home-like quality of the structure, even though converted to business usage.

- All original wood detail, including the clapboard, and importantly, the entry portico and the bay windows.

Recommendations If painted, the structure should retain a light, whitish color, possibly using a highlighting color on trim work. (See color chart).



133-135 Main Street

*P.J. Whitney's Restaurant/Schnair Newstand/
Assabet Eye Group (originally Armory Block)*

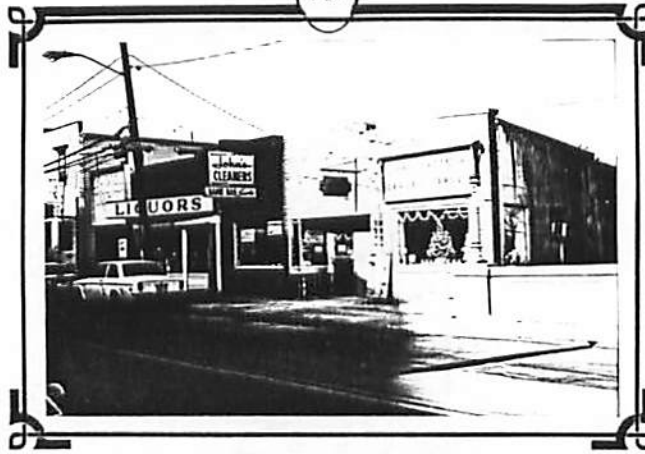


Originally known as the Amory Block, this structure was likely built around 1880 in the Stick Style. It originally had a steep roof with several gable ends that featured exposed framing. A projecting eave above the storefront was supported by large brackets; horizontal clapboards and shingles covered the facade. Steps up from the street had simple, cast iron pipe railings.

At some point the uppermost story of the structure was removed and a flat roof was added; at that time, the storefront glazing was also removed. Recent renovation has changed the building's image even more: the clapboards have been replaced by a textured stucco, the storefronts have been reduced to large window openings in a heavy wall, and a medieval topped bay has been added. The half timbered facade of the restaurant is an unfortunate stylistic choice. All that remains of the original facade are the ornamental window heads.

Recommendations The stucco was an unfortunate choice for siding -- if at all possible, it should be returned to clapboard. If renovation is undertaken, it should replace a roof similar to the original.

- If the siding is not replaced, wall mounted signs for the Newstand and Eye Group should be added above the windows.
- The gold color which the facade is currently painted is too dark. When repainted, a lighter peach or off-white should be used. (See color chart).



125 - 131 Main Street

*King's Package Store/John's Cleaners/
Joe Lattuca Travel Service.*

This simple, streetfront commercial building has gone through a series of alterations to fit the needs of the individual tenants (most notably the Liquor Store). Thus, the plain profile is now cluttered with a number of different storefront types and scattered signage.

Items to Preserve The brick facade and its stepped cornice.

Recommendations Cracked concrete along the river facade may indicate a structural problem. This should be remedied before all other work is begun.

- The disparate signage should be removed and replaced by similar sized (long & narrow) signbands that are placed above the windows, and mounted to the wall. Signs should not protrude, as does the Liquor Store sign; small, projecting signs are acceptable.
- The marquis over the left storefront should be removed. No secondary facing systems should be placed over the brickwork.
- The concrete sidewall should be painted. It would be wonderful if a mural adorned the wall.



177 Main Street

*Gruber Brothers Furniture
(originally the Riverside Block)*



Built in the late 1860's by the Maynard Family, the Riverside Block housed shops at grade and a meeting hall on the second floor. The Hall served prominently in the social history of Maynard; it was the site of Maynard's first town meeting. The original structure was two stories tall, wood framed, clapboard sheathed, and porch-fronted with two large gables at the third floor which faced the street. A fire in 1934 destroyed the upper floor.

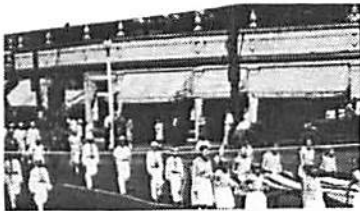
When rebuilt, a flat roof replaced the third floor, the upper floor windows were infilled, and the entire second story was faced with particle board siding. The porch front was rebuilt and infilled with glass panels and a shed roof connected it to the main building. It is unfortunate that the retrofit of the building lacks the Victorian character of the original; rather, the upper floor of the current facade lacks visual interest of any sort.

Recommendations It would be wonderful if the building was restored to some resemblance of its original Victorian character. Restoration should include removal of the existing siding on the upper facade and replacement of the original window openings (which may still exist below the siding) and clapboard, reconstruction of the gabled roof with its two gable ends facing the street, and recreation of a porch front, as in the original. This would allow construction of leasible space on the second and third floors.



93-115 Main Street, 2 Nason Street

*New Shapes Aerobic & Diet Center/Clothes Inn/Brooks Drug/Blue Horizons/
Stacy's Treat Boutique/Kung Fu Fire Dragon Judo School/Laura's Shoes/
Copper Kettle Restaurant*



Built in the mid 1920's, this large commercial block was quite typical of row retail structures that subdivided space for several tenants into deep, narrow shops. Often referred to as "taxpayer properties" these buildings were constructed inexpensively as a temporary means to pay off property taxes until the owner could build a larger structure. Luckily for Maynard, this structure was never to be demolished, for it was built with an unusually high level of stone detailing. Although replacement aluminum storefronts obscure this detail with garrish colors and oversized signage, much of the original ornament remains with need of little repair. The stone piers dividing each storefront still exist and are capped along the cornice line with elegant oval shaped medallions. Originally, terra cotta finials dotted the length of the cornice in line with the piers; unfortunately they were removed sometime after 1930.

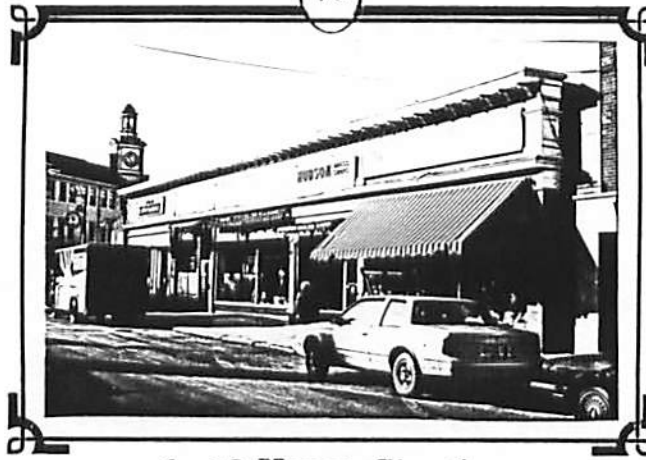
The unfortunate replacement of original wood storefronts with the current flat aluminum infill panels dates from around the 1960's. The large, brightly colored signage is sized to be read from a highway, not from Maynard's Main Street. Most distressing is the overscaled, wood fascia which was added to the front of the Copper Kettle; thankfully this "billboard" sits in front of the original wall which remains virtually undamaged behind it.

Items to Preserve All remaining stonework: the stone piers, the medallions, and the bracketed lower cornice.

Recommendations Remove all existing signage, including the Copper Kettle "billboard", and replace with signs fit into the uppermost panel of the storefront. These signs should not protrude or cover the stone piers or cornice. In addition, small scale projecting signs would be warranted.

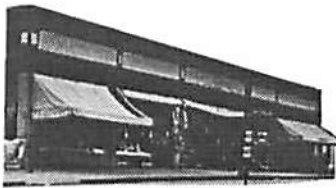
Property 15 continued

- The stone work should be patched and repaired as necessary, and painted with proper paint in a neutral color that attempts to match the natural stone color.
- A proper restoration of this building would include replacement of existing storefronts with a well detailed system that fits the architectural frame. As this would be a costly undertaking, the owner should at least "retrofit" the existing aluminum system with neutral colored replacement panels for the bright red and blue opaque clerestory and base panels.
- Awnings should be replaced.



4 - 12 Nason Street

Main Street Deli/Hudson Dress Shop/Pin Cushion



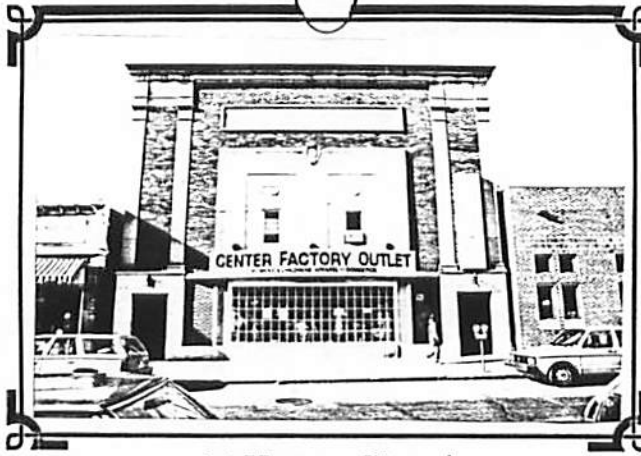
Built in the late 1910's the single-story commercial structure is a fine example of row storefront buildings that were prevalent across the country at the turn of the century. Often referred to as "taxpayer properties", these buildings were inexpensively built as a temporary means to pay off property taxes until the owner was ready to build a larger structure. Subdivision of the structure created a string of narrow, deep retail bays. Faint echoes of high styled building are imitated in the simple medallions and brackets of the cornice that still exist. The original wood storefronts have all been replaced with various aluminum systems, probably in the 1950's. Although the brick window bases are not as elegant as the original wood and cast iron frames, they are acceptable.

Items to Preserve Wood and cornice bracketing and all wood trim on the upper frame that divides each bay.

- All awnings and hardware.

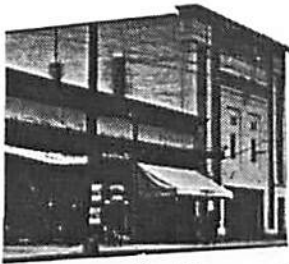
Recommendations Because the upper frame is painted in a single white color, the detail is not apparent. A contrasting color of paint on the upper and lower band and on the medallions would draw attention to this detail; the facade was originally painted this way. (See color chart).

- Signage should be consistently placed above each storefront, on the upper frame, between the medallions that divide each bay. These signs should be long and narrow, matching the height of the central inset in the medallion (approximately 18 inches). All existing signs are oversized.
- Replace and repair awnings as necessary.



14 Nason Street

*The Center Factory Outlet
(originally The People's Theatre)*



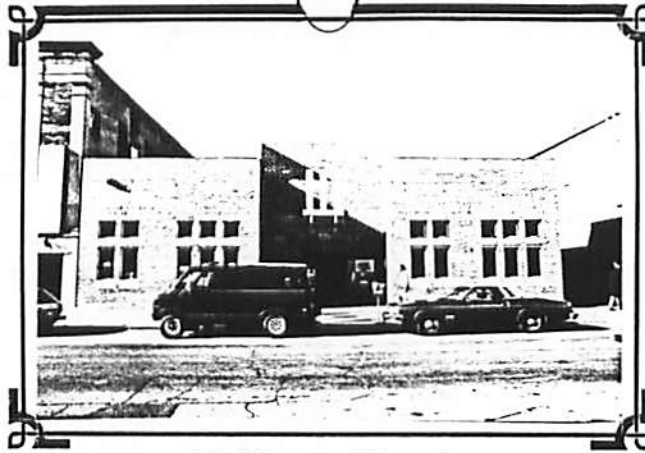
(1920's)
Built sometime in the early 1910's, the People's Theatre building remains a fine vernacular example of Classical Revival building. The simple door and window frames, the flat brick wall surface, the central white panel, and the restrained design of the pilasters and cornice reflect an attitude towards design that attempted to create fresh, modern effects while borrowing forms from the past. Of particular interest are ornamental motifs above the central windows and the medallion that crowns the central white panel. The symmetry of the facade is powerful.

The retrofit of the theatre into a retail store was accomplished with little change. A multi-paned window was inserted below the marquis, creating a bowed wall against the sidewalk; the window is a handsome contrast to the stark panels around the side doors. Thankfully, few changes were wrought upon the upper facade; it has been well maintained. The only unfortunate change has been the placement of signage; the letters of the outlet store sign are too large and the directory above the right hand door diminishes the elegant symmetry of the facade.

Items to Preserve The upper portion of the facade should remain as designed, never to be clad or altered in any way.

Recommendations Remove existing signage, including the directory, and replace with signage that fits into the architectural frame. No signage should be placed above the height of the side door architectural frame.

- If possible, relocate the air conditioner that is in the second floor window.



20 Nason Street

The Sokoloff Building



The construction of this building in 1984 was unfortunate. Although the low, single store Firestone building that existed here before was not a particularly elegant structure, it did maintain a simple brick storefront that was consistent with neighboring buildings. The current building has a style that is quite different, even unsympathetic, to its neighbors. Its heavy brick banding and narrow window openings create quite a solid and unhospitable facade in contrast to the wide glass storefronts of adjacent buildings. Although its single story brick frame attempts to mimic features of a streetfront commercial building, the blank cornice line and flat walls are quite different from those of its richly detailed neighbors. The setback of the central section from the street is particularly unfortunate as it only creates a dark "court". In addition, the heights of the window openings have no particular relationship to those of other buildings.

Although this might be a good building in another location, it is not an appropriate building in the heart of Maynard. Its style, form, color, and texture are unhappy contrasts to those of adjacent historic structures. In the square several historic building types co-exist; the imposition of this new "order", better placed on a highway strip, does not help solidify a consistent townscape imagery.

Recommendations Provide an entry to the front by adding a glazed wall at the street; this would replace the exterior dark court with an interior space.

- Provide an elegant cornice line.
- Provide awnings.



24 Nason Street

The Outdoor Store

(originally the Case Building)



Built around 1900, this building combined Georgian Revival detail on its upper floor with a simple storefront base. Two major alterations have been made over the years; the railing which capped the cornice has been removed, and the storefront was renovated around 1940.

Although the upper floor and the base are currently of two distinct styles, they are both fine examples of the period in which they were built. Much of the Georgian Revival trim remains on the upper floor: the pediments over the windows, the wood pilasters between windows, the bracketed cornice, and the wide two over one windows. The storefront is a fine example of an Art Moderne renovation; its shiny black paneled base and porcelain enamel panel frame remain in good shape and retain a vibrant color.

Items to Preserve All wood detail on the upper floor, including the clapboard.

- The modern base, including the storefront glass and the porcelain enamel panels, particularly the sign band.
- Awnings.

Recommendations Improvements that are to be made to the rear parking lot may warrant providing an entry and canopy off the rear facade.



34 Nason Street
The Outdoor Store

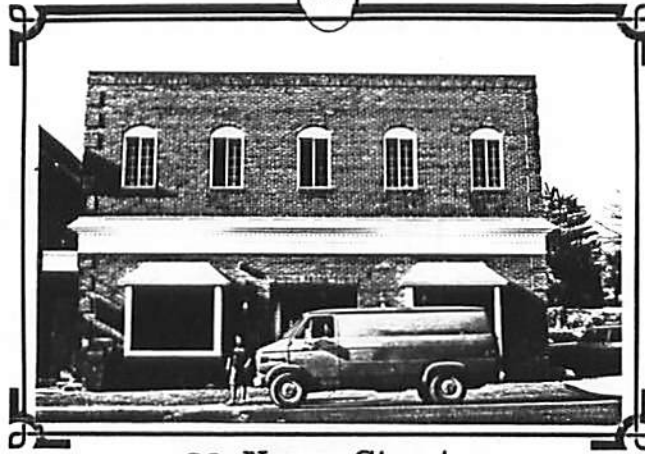
The upper floor of this two-story wood frame building retains much of its original 1910's wood detail, but its storefront likely was renovated in the 1940's. It is unfortunate that the renovation replaced the wood storefront cornice with porcelain panels. More recent renovation has left half of this band covered with wood siding. Happily, the original wood trim around windows and at the upper cornice remains and the upper floor retains its clapboard. Its lively rose color is handsome along the street and the lemony white color of window and cornice trim draw attention to that detail.

Items to Preserve Window detail and cornice bracketing.

- Wood clapboard on upper floor.
- Canvas awnings.

Recommendations Restore the storefront cornice to an appropriate wood cornice, and incorporate new long, narrow wood signs above each storefront.

- Restore the storefront base with wood detail to cover the contrasting brick base.
- Paint the rear facade, as it will be quite visible from the improved municipal parking lot. Improvements to the rear parking lot may warrant providing an entry and canopy off the rear facade.



36 Nason Street

The Paper Store

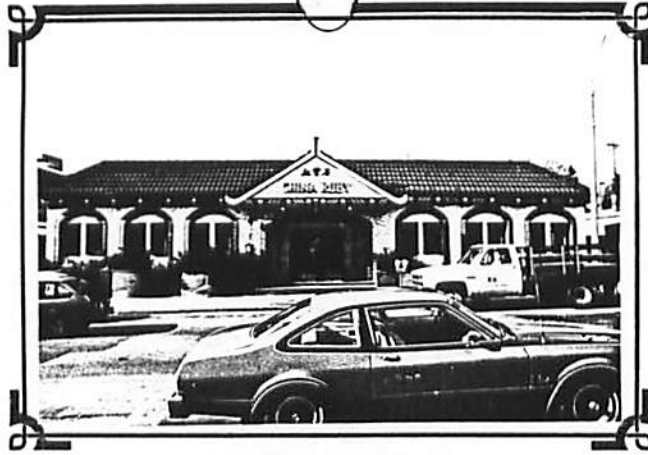


The rear portion of this building was constructed in 1892 as Maynard's First Fire Station. Changes in ownership through the years had altered the original structure considerably by 1980. Just last year, the Town Paint and Hardware building underwent its most complete facade change. A new brick veneer building was built at this site. The brick facade which is now presented to the street attempts to look like the type of large brick buildings that were built along Main Street in the early 1900's. The building does a good job of fitting this structure into the townscape: it maintains a similar height to its neighbors, provides appropriate scaled upper floor window openings, and places a typical wood cornice over the storefront. It is unfortunate, on the other hand that the building does not have a bracketed roof cornice (rather it has a flat brick band) and that it does not maintain a typical open storefront (rather it has two large bay windows punched into a masonry wall at the base). The owners of this building should be commended for having extended the same level of detail on all sides of the building, particularly on the rear facade which will face the improved municipal lot. It is a shame that to do so, the original "town lock-up" which was at the rear of the building had to be destroyed.

Items to Preserve The two-story massing and wood lintel above the storefront.

Recommendations Signage, if it has not been considered, is necessary on the front and rear of the building. On the front, a long narrow sign should be fit above the door.

- A wood top cornice would be appropriate.

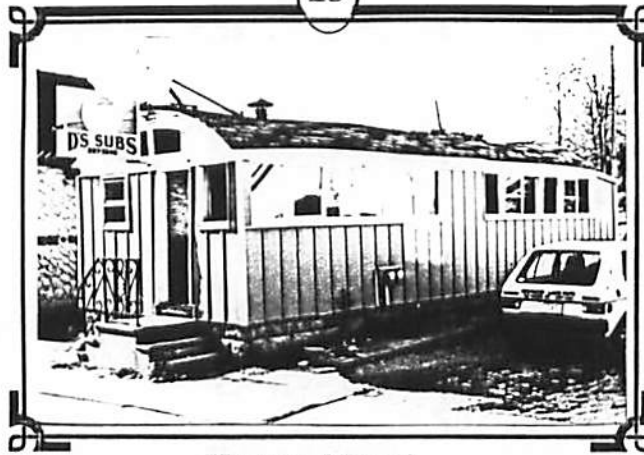


42 Nason Street
China Ruby Restaurant



Once the site of the Odd Fellows Block, a tall three-story, wood frame building with an elegant storefront, this site is now home of the China Ruby restaurant. The building's style, color, and signage are meant to evoke Chinese imagery; it is a building that is "decorated" to express a time and place that have nothing to do with Maynard. Although the restaurant makes an important contribution to the business community, this type of image should not be duplicated elsewhere in town. Singularly, it is a contrast to the typical townscape, but if several merchants attempted to make their buildings "look" like their product, the district's village flavor would be lost.

Recommendations None.



Nason Street

D's Subs

Although an odd building in the area, this boxcar diner seems to have had a long history on this site. Historic photos of upper Nason Street reveal that this building's predecessor was a trolley car with wooden spoked wheels that sat parallel to Nason Street. The present structure, reminiscent of a roadside diner, but lacking the typical streamlined materials, provides a touch of whimsy to the area.

Recommendations The first priority is to appropriately landscape the derelict open spaces to either side of the diner.

- The building should be reclad in materials reminiscent of the "streamlined" era style -- stainless steel panels or shiny black porcelain panels.
- The porch front must be rehabilitated by broadening the steps and installing appropriate railing.
- New signs should be created. A small projecting sign on the front is appropriate, but it should be matched to new siding materials.
- Roofing should be repaired as necessary.



52 Nason Street

*Knights of Columbus Building/
Maynard Auto Parts*



This site at the corner of Nason and Summer Streets has played an important role in the Town of Maynard. From 1882 to 1936 the Co-operative Hall, an enormous wood frame building, sat proudly at this corner, providing a place for town meetings, rallies, and social functions. Built by the Riverside Co-operative Association, a Maynard organization of English and Scottish textile workers, the structure's first floor was the group's store from which produce and meats could be purchased at wholesale prices. A fire on January 30, 1936 destroyed the upper two floors of the structure.

In 1937, Maynard Council, No. 2121, Knights of Columbus purchased the property and erected the building which now exists. The brick two-story structure, much smaller than the original 4 story building, places entry to the K of C Hall on Summer Street, and a storefront along Nason Street. The brickwork of the facade is quite plain. The storefront, although an odd green color, is well maintained.

Items to Preserve The brick facade.

- The inset stone marker above the second floor entry.

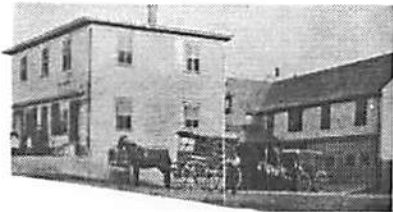
Recommendations The building's corner step back could be enhanced with plantings.

- Signage could be improved. The Knights of Columbus should provide a higher quality (e.g., bronze) raised letter.
- The Auto Parts store should incorporate their signage into the opaque top panel of the storefront, rather than applying a separate sign on top of it.



60 Nason Street

*Maycon Glass & Mirror Co.
(originally Grove's Block)*



This building occupies the site of Grove's Bakery which was built by 1880. The rear portion of the building is the original Grove's Bakery building; the front portion, built at a later date, is an addition to the original structure. The original Grove's Bakery was a wood frame structure sheathed in wood clapboard with a simple, bracketed wood cornice. The slope of the Summer Street hill allowed the insertion of a floor under the original first floor; this is now the level of the retail shops. Alterations to the original building and its addition have included stuccoing, window replacement, removal of original window trim, and destruction of the wood cornice.

Items to Preserve The existing wood cornice.

- The brick base.
- All window openings and remaining window trim.

Recommendations Rehabilitation should focus on securing the building envelope. The cementitious stucco work, which is stained and cracked, should be removed and replaced by wood clapboard. If it is necessary that windows be replaced, their opening size should not be altered; replacement windows should be 2 over 2 double-hung frames. Wood window trim should be replaced as necessary. The cornice should be repaired and repainted; in no case should the wide soffit be altered. The wood storefront should be repaired and repainted.

- The entry to the upper floor apartments off of Summer Street should be appropriately detailed, possibly with a pediment placed over the wide opening.
- The handsome brick base and storefront piers should be retained and repointed as necessary.
- New signage should be provided, tied into the storefront lintel.

*Multi-story
wood frame*



62 - 64 Nason Street

Assabet Party Shop/Maynard Shoe Service

Although the form of this facade is quite charming, it is in a sad state of disrepair.

Items to Preserve Existing upper floor window openings (windows should be replaced) and all window trim.

- Cornice line with the pediment at its middle and the flagpole.
- Height, width of the storefront opening with centered color.

Recommendations It is imperative that immediate attention be given to the exterior covering of this building. The rotting stucco and missing windows likely have allowed water to damage existing stud walls and interior plaster. The stucco and sheathing must be removed down to the wood studs and should then be replaced with wood clapboard and appropriate backing materials. The storefront base should be redone as well in materials consistent with wood clapboard above. Windows must be repaired and/or replaced as necessary, retaining the original opening size. The cornice line should remain as is, with its centered pediment, and with a restored flagpole.

- Signage should be incorporated into a redesigned storefront.
- The staircase which connects this property to Property 25 should be repaired and an entry door should be placed on the facade.



67 Nason Street

That's Entertainment

Located in the ground-level of a town house block, this shop selling comics and games retains a similar front to the adjacent townhouses. The bay window is used for display.

Recommendations At no point should the rowhouse imagery be altered to accommodate a "storefront". The approach taken by this retailer is appropriate.

- A new sign should be made, preferably a small, projecting sign.



63 Nason Street, 37 Summer Street
Masciarelli Jewellery/Style Unlimited



Built on this corner site in the 1870's, this building once presented a three-story facade to the street (the upper most floor was a tall mansard roof). Known originally as "Darling's Block", for many years it housed a meat market, a barber shop, and a pool room; the Riverside Corporate Association started business in the basement in 1875. Sometime after the First World War the building was acquired by the Fraternal Order of Eagles, one of the oldest lodges in Maynard.

A fire sometime in the middle of this century destroyed the upper mansard floor and it was not rebuilt. The clapboard on the middle floor was replaced with the cementitious stucco that now exists and the windows were replaced with smaller "sliders". At the base, the original slender-columned, wood frame porch was replaced by a shed roof and new aluminum storefront.

Recommendations A new facade treatment seems necessary as the upper floor stucco work appears cracked and stained. If replaced, wood clapboard should be used. The bland aluminum flashing at the building's top should be replaced with a wood cornice if the facade is restored. Also, shutters might be replaced around upper floor windows.

- Existing windows are smaller in size and of a different type than the original 2 over 2 double-hung windows. If replacement is warranted, larger, double-hung windows should be used.
- The shed roof should be removed or redesigned to resemble the "porch" with the additions of columns.
- Signage should be removed from the edge of the shed roof and replaced by appropriately sized wall mounted signs.



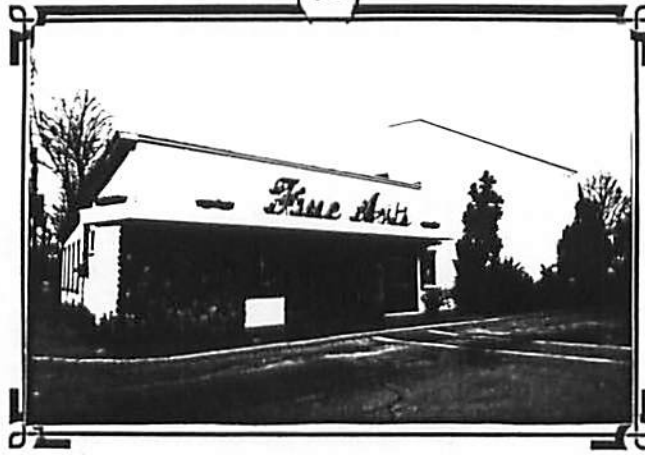
27-31 Summer Street
Massachusetts Solar, Inc.

This Victorian house, built in the late 1800's, had several additions built to its side. The latest addition, faced by a sharply contrasting aluminum and glass wall, sits in line with the original house front. The addition of the solar aluminum and glass wall to this house front is a daring change. The contrast between the Victorian house and the glass wall strongly points out differing approaches to the design; that inspired by Victorian house building and that necessitated by solar design. Thankfully, the glass wall is simply detailed and is allowed to sit beside an unchanged Victorian facade. This structure is undergoing rehabilitation which will include renovation of the existing house and the addition of a "showroom" for active and passive solar energy techniques.

Items to Preserve Original house and all its wood detail, including the charming bay window, bracketed eave, and entry overhang.

Recommendations The Victorian facade should be painted in a true Victorian color palette (see color chart).

- Other specific recommendations must be based on review of the owner's plans for renovation.



Fine Arts Theatre

A modern use inserted amidst traditional houses, the Fine Arts Theatre contrasts the surrounding. Heavily planting obscures the bland white walls of the theatre. The illuminated sign draws just enough attention; the marquis is quite simple and signs for coming attractions remain small.

Recommendations None.



25 Main Street

*Thomas A. Cocco Insurance Agency/
Wm. E. Hershberger. DMD*



Constructed as a house, this wood-frame building has undergone renovation to function as an office on its ground floor. The two-story porch front which has been added is meant to evoke a "colonial" imagery"; as such, it seems out of character with neighboring structures that have a single story porch front. It is unfortunate that this building was altered so extremely from its original house imagery.

Recommendations If, at some point, the owners choose to renovate and again change the image of their building, a front should be styled to mimic the original single story porch, the aluminum siding be replaced with wood clapboard and the top "gingerbread" shingles should be preserved.



27 Main Street

Stretch's Tavern, Inc.

The addition of a storefront to this house was made over 30 years ago. This structure now retains little of its houselike character. The modern storefront, with its blue aluminum panels and heavy brick base, sits awkwardly among its wood frame neighbors and stands as a sharp contrast to the house which it fronts.

Items to Preserve House imagery of rear building.

Recommendations Rehabilitation of this structure should strive to return its storefront to the wood frame character of similar housefronts further up Main Street. To do so will require demolition of the existing brick and glass wall to reveal the original storefront structure. The replacement storefront should, working around the original columns and beams, provide a wood base, taller glass frames, and a wood cornice. Signage should be incorporated into the new wood cornice, and the projecting sign should be replaced by a smaller, wood sign.

- Any alteration of the house should respect the gable end facing the street and its two bay windows -- this profile should not be changed. If the aluminum siding is removed, wood clapboard & shingles should be used as replacement materials.



31 Main Street

Law Office of Lerer & Florio

As part of the cluster of houses on this end of Main Street, this structure has been altered for business usage with little change to its original image. What was once likely an open porch now has full walls to provide additional working space. The gold aluminum siding which has been placed over the original clapboard is an unfortunate color choice.

Items to Preserve House imagery, including roof line & dormer.

Recommendations A new entry door canopy should be provided, incorporating a more appropriate location for signage.

- New canvas awnings, similar to those used in the center of town, would provide a more consistent imagery for the business district.
- If the aluminum siding is ever replaced, a light colored wood clapboard should be used as a facing material.



35-37 Main Street

Atlantis Jewelers/K & J Taxi

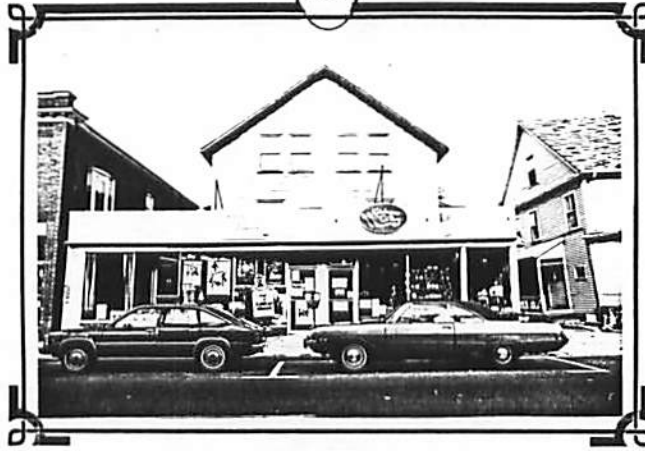
Although in need of some serious repairs, this structure retains the original business storefront with most of its original woodwork and detail. It is likely that the shop was built in the 1920's. Through the years the glazing and wood base of its storefront have been altered.

The storefront remains of an appropriate plan and design; a central entry door connects to the house at the rear and divides two shop fronts of equal width. The brown paint color is too dark and awnings have not been kept in shape. The small, projecting sign of Atlantis Jewelers is appropriately scaled; signage for K&J Taxi should be similarly noted.

Items to Preserve The simple clapboard facade of the rear house should be retained along with the detailed wood trim below the eaves and the centered bay. The appropriately scaled storefront cornice and framework should remain, as should the recessed entries.

Recommendations The degree to which the facade leans may indicate structural damage. This should be checked before any work is done.

- Scrape, prime, and repaint all existing clapboard and wood trim on rear house and on storefront.
- Gutters and downspouts on rear house must be repaired or replaced.
- Rehabilitate or rebuild the storefront in a manner consistent with its original image. Repair the trim on the cornice, replace awnings and repaint in a lighter color palette. If the storefront glazing is replaced, an insulated glazing should be used and a framework for clerestory glazing should be added.
- Signage should be placed above each door on the cornice, and a small, projecting sign should be added for the Taxi Service.



43,41,39 Main Street

Barber Shop/Video Paradise/Kitchen Gallery

The simple storefront and house are of a scale and character consistent with Main Street. Unfortunately, original facade materials have been covered by newer materials: the storefront is sheathed with aluminum panels and the rear house has been reclad in an oversized synthetic shingle. Although the storefronts are aluminum on a brick base, they are of an appropriate height and scale.

Items to Preserve House imagery of rear building, including gablefront and wide eaves.

Recommendations The house to the rear should be resided in a wood clapboard or shingle -- the existing material is showing signs of age. Trim on the roof eave should be repaired or replaced.

- The storefront should be rehabilitated. Of first priority, is to replace signs on the cornice with signs that are long and narrow to fit within the sign band established instead of projecting above it. If additional work is done, the aluminum facing on the storefront cornice should be replaced with wood detail.
- If total renovation is done, the storefront should be remodeled to conform to wood storefronts of the early 20th century, incorporating wood trim on the cornice and clerestory glazing in the storefront.



45 - 51 Main Street

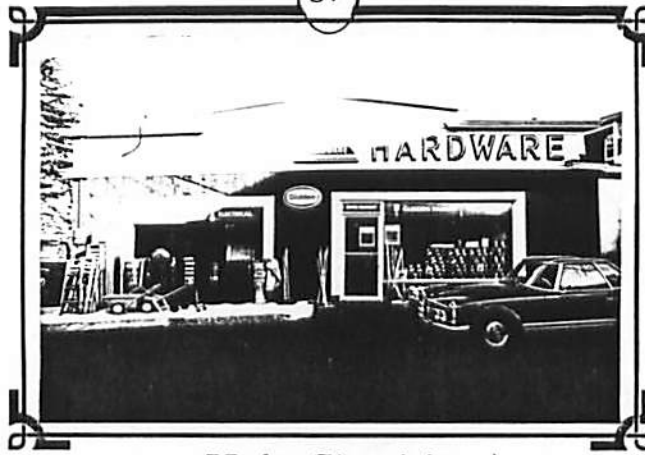
*Paul's Food Shoppe & Fay's Feederly/
Assabet Sewing and Vacuum Center*

This red brick, two-story structure was built in the early part of the century. Its handsome cornice, combining wood bracketing and brick corbeling, is of note. Its flat arched windows with infill white frames and the white, wood-framed storefronts provide a handsome contrast to the red brick. Although the cornice is symmetrical, the building's major entry is oddly off center; nevertheless, the ground floor plan division into one wide storefront and two smaller storefronts is appropriate. The infill brick arch over the main entry door was a typical feature of many of these early brick structures in Maynard.

Items to Preserve All brickwork, including the stepped cornice and arched entry. Three part windows and white infill surrounding storefronts, including store lintel and brick base.

Recommendations Thankfully, few alterations have been made to this facade; thus, little restoration is required.

- The wood cornice should be painted; flashing should be checked and repaired as required.
- Awnings should be repaired and/or replaced.
- Signage: the oversized "Singer" sign should be removed and replaced by a smaller, projecting sign. Similar signs should be made for the bakery and Fay's Feederly.
- If the storefront glazing is ever changed, the clerestory should be replaced on the two smaller storefronts to match that of the bakery.



Main Street (Rear)

Aubuchon Hardware

This single story shop sits off street, facing the Municipal Parking Lot. The activity it provides along this "back door" of the business district is important and hopefully will be reinforced as other stores begin to provide entries in their rear.

Aubuchon Hardware has just recently moved to this location from a store on Nason Street. Thus, the facade has been renovated in the past year. The renovation should be complimented for retaining the simple shape of the facade and highlighting the playful top cornice. The orange letters are a bit large and bright though.

Recommendations Paint base in lighter color.

- Replace oversized individual letters with wall mounted sign in middle section of cornice.



55, 59 Main Street

Manning Pharmacy/Lando's Subs & Pizza

Although in need of repair, this three-story, wood-frame building retains several striking features: wood dentils at the tops of upper floor windows, a "checkboard" pattern on the ground plane of the recessed entries, and importantly, the original wood and glass storefront. The storefront cornice and columns are particularly handsome.

Items to Preserve Wood framing of storefront.

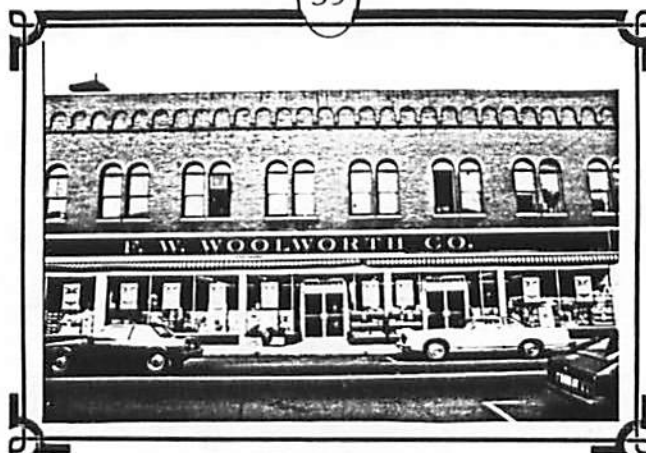
- Wood window trim.
- Recessed entries and ground plane patterning.

If complete renovation is undertaken, the upper floor facing material should be returned to its original clapboard. Currently, the window trim on upper floor windows needs repainting.

- The storefronts should be rehabilitated, repaired as required, and repainted in a brighter color palette. If glazing is replaced, the clerestory lights should be replaced on the right half of the building to match those on the pharmacy's storefront. The center door, used by the Karate School on the second floor, should be painted in a color to match the wood of the storefront.
- All existing signage should be replaced: the oversized "Manning" sign obscures the detail on the columns; the "Pizzeria" sign partially overhangs side columns; the "Karate School" sign is too tall. All storefront signs should be smaller and fitted below the cornice; additional small projecting signs could be used over doorways. A directory for upper floor businesses should be placed near the central door; signs should be removed from the upper facade.

Property 38 continued

- When repainted, the woodwork of the windows and entry should be a lighter rose or ivy color to contrast the glass which is dark when reflecting the sun.
- The rear facade could be upgraded by removing litter around it. Improvements to the municipal parking lot have drawn attention to the building's rear facade; the improvement of these back walls will be important to upgrading the image of the entire shopping district.



63 Main Street

The Woolworth Building



Built around 1912 as a commercial block, this building was bought by the Woolworth Company in 1916. On the second floor, Colonial Hall opened in 1914 and was used for many years as a movie theatre and function hall, and in the recent past has served as a prominent recording studio in New England. The building's size, fanciful brickwork and elegantly tall, arched second floor windows allow it a prominence on Main Street. Few changes have been made on the upper floor facade. The ground floor facade has undergone considerable change, though, having been faced with its current stainless steel storefront in mid-century. The large signband, stretching the length of the facade was also an addition of that time. The storefront changes were well designed and detailed and remain a fine example of "Moderne" shopfront design.

Items to Preserve The building's fanciful brickwork, including the brick cornice and window heads.

- The circa 1940 stainless steel storefront and awning, as an example of the shiny, streamlined design approach.
- The "F.W. Woolworth Co." sign with its gilded letters.
- The double-hung windows and arched top glass panes.

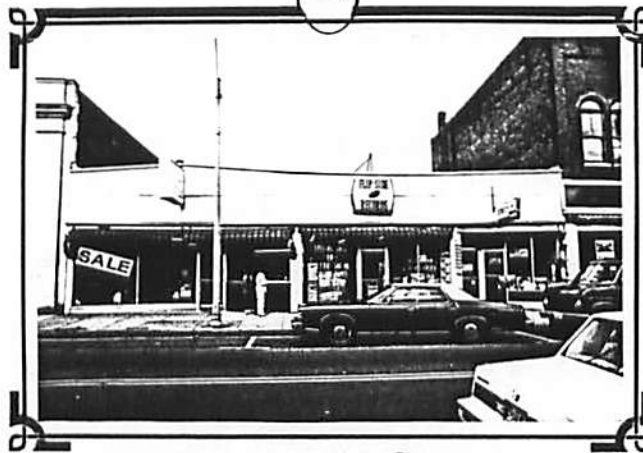
Recommendations Although no design changes are suggested for the front facade, there are elements of repair that should be addressed. Where upper floor window replacements have altered the original 2 over 2 double-hung sash, these panes should be rehabilitated. If at all possible, air conditioners should not be permanently located in the window openings. Staining on the cornice brickwork should be examined and cleaned as necessary.

- Improvements to the municipal lot have drawn attention to the building's rear facade. Although an entry door now exists off

*Multi-story
masonry*

Property 39 continued

this lot, it would be advantageous to upgrade this entry, and shield mechanical equipment and the dumpster from view. Improvements to those rear facades throughout the shopping area which are highly visible from the improved parking areas will be important to upgrading the image of the entire district.



79, 77, 75 Main Street

*Village Jewelers/Flip Side Records/
Crowe's Beauty Salon*



Built sometime prior to 1920, this one-story building originally had a simple stone facade which focused on a tall flagpole attached to the high point of the facade. Although the building retains its original profile, it has undergone considerable change through the years. Its original elegantly detailed storefront was replaced with the existing aluminum storefront, probably sometime in the 1940's. At this point, the stone base was removed and the cornice was sheathed in a corrugated aluminum.

Recommendations The aluminum sheathing on the cornice should be removed to reveal the original stone panels. These should then be repaired and painted as necessary.

- Although the aluminum storefronts are acceptable, a reconstruction of the original wood storefront with its clerestory lights would be more handsome.
- All existing signage should be removed and replaced by a combination of long, narrow wall mounted signs positioned just above the storefront and small, wood projecting signs.
- Replacement of a flagpole in the original location would add a special vertical emphasis to the building.
- Improvements to the municipal parking lot have drawn attention to the building's rear facade. Although rear doors are used currently for service only, these entries might be upgraded for customer use. Importantly, the rear facade should be renovated by cleaning the original brick and providing improved infill panels for the boarded up windows which now exist. The dumpster should be shielded. Improvements to those rear facades throughout the shopping area which are highly visible from the improved parking areas will be important to upgrading the image of the entire district.



81 Main Street

Volunteer Insurance Agency



This elegant neo-classical bank building was constructed in 1926 to house the Maynard Trust Company. The wonderful carved stone eagle and banner which sit atop the cornice note the founding year of the bank, 1913. When the Bubier-Riley Insurance Company (now Volunteer Insurance) took over the building in 1965, only signage changes were made to the facade.

Items to Preserve The graceful limestone facade should remain unaltered.

- The arched, multipanel windows should remain unaltered. If storm windows are necessary, they should be placed on the interior.
- The cast-iron lights to each side of the door are original fixtures and remain appropriate.

Recommendations Slight staining has occurred on the stone cornice; it is likely that the entire facade should be cleaned with a mild wash.

- The sign band, now blank, should be filled with a sign for the current owner which is similar to the original sign. The projecting sign should be removed.
- The door, while not original, is acceptable. Its color should match that of the windows.



83 Main Street
The Taco Maker

This single story structure was built as a simple infill between its neighbors sometime in the mid-century. Although it is unlikely that this building had remarkable original detail, it is unknown if the existing plain storefront is original. The addition of the false shed roof in recent years is inappropriate and should be removed.

Recommendations Removal of the false shed roof is a high priority. A new flat upper facade should pick up the lines of the adjacent structure (Property 43).

- The oversized projecting sign should be removed and new wall-mounted signage should be incorporated into a new treatment of the cornice.
- The porcelain coated base panels should be repaired as necessary.



Main & Nason Street corner
85 Main Street, 1-3 Nason Street
*Boucher Cosmetique/Glennon Travel Service/
 Baystate Typewriters*



This corner site has long been occupied by a prominent building. The original Naylor Block, built around 1900, was a two-story wood frame structure with a turret marking the corner. After a fire destroyed that structure in 1917, the present one-story building was erected around 1920. It is likely that the facade was changed sometime in the late 1940's, but the current storefront design which patterns bands of brick and stucco is a lively and appropriate design. The portion of the facade which is now Baystate Typewriter was further modified with stainless steel siding at a still later date. It is likely that the siding was placed over the brickwork with little damage to the brick and stucco beneath it. The plain, upper horizontal banding was designed as the place for signage; the jewelry store respects this, while the travel agency sign does not.

Items to Preserve All brick & stucco patterning and storefronts.

Recommendations Signage for the travel agency should be fit into the appropriate "signband" location on the facade.

- Awnings should be repaired or replaced as necessary.
- The portion of the storefront which was covered with stainless steel siding should be rehabilitated to match the brick and stucco if, as it is likely, that these materials still exist below the siding. Rehabilitation of this portion of the facade will blend the one-story corner facade into the adjacent two-story wall which is similarly detailed.
- Because this building wraps the corner, an interesting "alley" is formed which connects to the municipal parking lot. The alley, if improved for pedestrian use, could become a significant feature of the municipal lot and an asset to the stores which surround it. If carried through the building, this "walkway" would be a unique connection to the heart of the commercial district.

*Single-story
 commercial*



15,13,11 Nason Street

*Cottage Crafts/New England Appliance/
Assabet Valley Coins*

It is unclear if this two-story structure was built at the same time as its one-story corner neighbor, but its brick and cementitious stucco detail is remarkable similar to the Naylor block. Its elegant cornice, nicely detailed brickwork, and playful checkered pilasters create a handsome facade. An unfortunate renovation of the ground level storefront in the 1940's or 50's sheathed the original storefront piers with aluminum panels and destroyed the storefront window bases. It is likely that much of the original brickwork still exists below the siding.

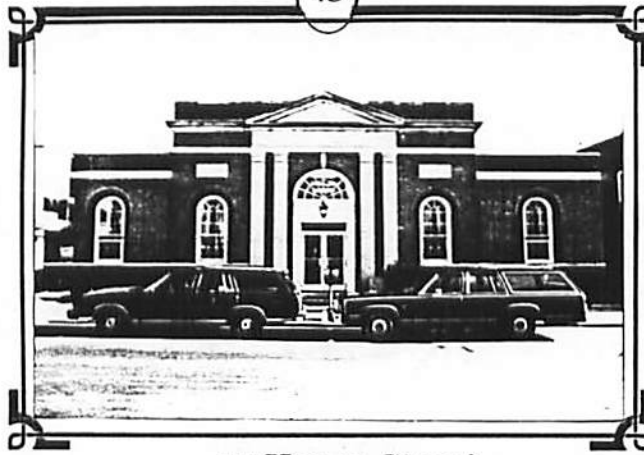
Items to Preserve All brick and stucco patterning on the upper facade.

- The heavy cornice.

Recommendations Rehabilitate base of building by removing siding.

If individual storefronts are altered new window bases should be built with a facing material similar to the brick or stonework above, or in wood.

- All woodwork, including the cornice and the upper floor window trim should be scraped, primed and painted.
- If the building base is rehabilitated, new signs should be made to fit within the architectural detail.
- The rear elevation, now a prominent view from the municipal parking lot, should be improved.
- Improvements to the municipal parking lot have drawn attention to the building's rear facade; thus, it is important that the rear facade be improved as part of the upgrade to the entire business district image. To do so will require the effort to re-clapboarding the upper floor, improving the fire stair, shielding the dumpster, and repainting.



17 Nason Street

Assabet Institution for Savings

Built in 1929 to house the Assabet Institution for Savings, this neo-classical bank building remains remarkably unchanged on its exterior. Its brick and stone facade, meant to evoke an image of substance, remains handsome today. The elegant stone pilasters and pediment, inscribed with the bank's name, and the arched, multi-paned windows are features of note. Two stone blocks inset in the brickwork above side windows note the date of the banks origin, 1904, and the years of the building's construction, 1929.

Items to Preserve All existing facade features.

Recommendations No changes are suggested for the structure; it should remain, unaltered as a building of substance in the business district.



25 Nason Street
Baybank Middlesex

Baybank Middlesex has occupied this site since 1965 when it expanded and took over the building from First National Stores. Renovation of the front facade incorporated a wood cornice, pilasters, and recessed entry. Multi-paned windows fill openings in the masonry wall. Baybank Middlesex is one of the few businesses that has incorporated an entry at the rear building facade. This small, white wood entry pavilion adds a liveliness to the municipal lot.

Items to Preserve All existing front facade features.

Recommendations The blank half of the rear facade should be incorporated into design of the entry pavilion.



37 ,33 Nason Street

Dave Dyer Real Estate/J&S Sports

It is unknown when this structure was built, but early maps of Maynard date part of the building to around 1910. Obviously, the building has been severely altered since that time with a brick veneer and aluminum storefront. The stepped cornice and the staggered upper floor windows lead one to believe that the new facade was applied over two separate wood clapboard buildings to provide the image of a single, larger structure. The building remains divided in terms of its tenancy, and it is likely that a separating fire wall remains between the two original structures.

The building has separate and prominent rear tenants, the Econo-O-Wash and Donutland. Their brightly colored facades and large signs are recent additions, having been added in the last twenty years. Facing the municipal parking lot, the facades are very different from those of the street and look as if they belong on a highway strip.

Recommendations Front Facade: The contrast in materials between the top and the base of this building is not in keeping with traditional brick multi-story building in Maynard. The brick patterns and gold color are also a contrast to the red brick used on other similar buildings. Residing this building in wood clapboard would improve its appearance immensely; if such redesign is untaken, the two separate structures should again be expressed. Window and cornice trim should be of wood and the storefront base should be consistent with the upper story wood treatment.

- The shed roof above the storefront should be removed and replaced with a traditional storefront signband. The canvas awnings which characterize Maynard should replace the overhang.
- Projecting signs should be removed and replaced by long, narrow wall mounted signs (as the overhang is replaced) and small projecting signs.

*Multi-story
wood frame*

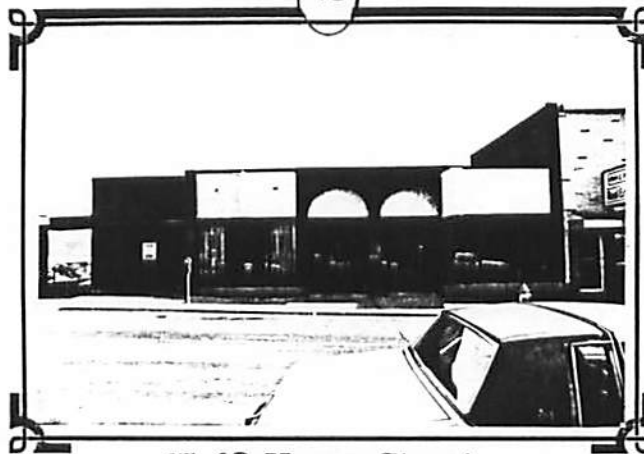


37 Rear Nason Street

Shield Cleaners & Econo Wash/B&J Donutland

Property 47

- Rear Facade: Oversized signage should be removed from the rear facade and replaced with smaller scaled, wall mounted sign.
- New facade treatment, similar to either Bay Bank's (Property 46) rear entry or Aubuchon Hardware (Property 37) should be incorporated.



47, 43 Nason Street

The Cooperative Bank/Stephen Neustat, M.D.

This one-story bank building, built around 1960, presents an odd facade to Nason Street. Neither its brick arched entry or heavy stucco top are elements used elsewhere in the commercial area; instead, they recall an oddly "Mediterranean" building. The entry along Nason Street is not as active as the rear facade entry off the Municipal Parking lot which repeats the brick arched forms at a two-story scale.

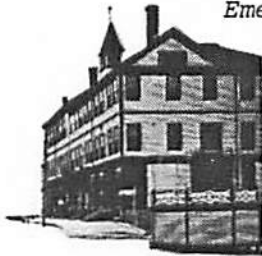
Recommendations Provide a facade treatment along Nason Street which incorporates a more traditional bank imagery. Alter the heavy stucco band with a cornice similar to that on the Baybank (Property 46).

- Provide landscaping where the building steps back from the street.
- Provide improved signage for the Drive-up window.
- Remove oversized projecting signs and incorporate new signage into an improved cornice.
- Rear Facade: On the rear facade, provide an improved treatment for the central entry bay, altering the extreme vertical piers by providing a canopy at the ground floor and awnings over storefront windows.
- Provide appropriate signage.
- Provide plantings in front of storefront windows.



94a - 104 Main Street

*Irene's Stitch It Shop/Catherine & Toni - Ann's
Emerson Ice Cream/Copy Center/Taurus Leather Shop*



In 1888, Lorenzo Maynard had this building erected for the use of the Masons. In 1922, the building then known as the Maynard Building, was purchased by the Lodge and became known as the Masonic Building. The building's crowning cupola has long been a landmark in the town of Maynard.

Very little change has been wrought upon the wood frame structure since its initial construction. The original roof and cupola remain as do the original "stoops" and entryways. Although both upper floor and storefront windows have been replaced at various times, the replacements have retained the proportion and size of original window openings. The most unfortunate change has been the replacement of the original clapboard siding with a wider particle board siding. Also, when the building was resided, the vertical horizontal trim boards which divided the upper floors were not replaced.

Plans for the street improvement project, to begin construction in the spring of 1985, will provide brick walks and plantings in the area setback from the sidewalk. Several signs on the building deserve commendation including the small, projecting Taurus Leather sign and the hand painted, gilded lettering on the glass clerestorys of the storefronts.

Items to Preserve Window openings and trim.

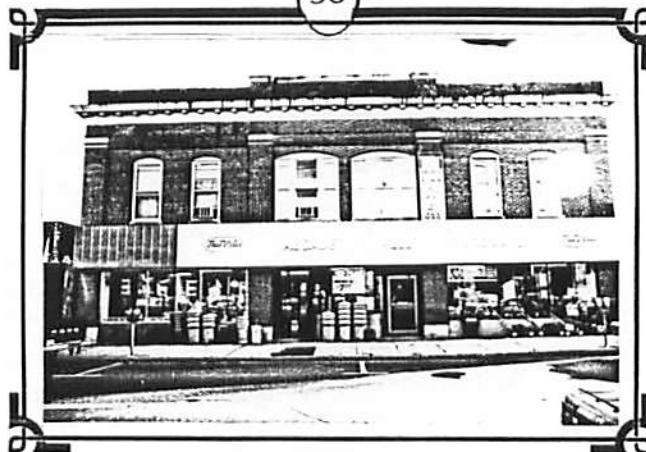
- Roofline, cupola, and detailed cornice.
- Storefront base, inclusive of tripartite storefronts, wood stoops, iron handrails, doors and main building entry.

Recommendations Because the building faces North and does not get direct sunlight, the brown color of the base is too dark. It should be repainted in a lighter color palette, possibly with two tones to bring out detail on the columns.

*Multi-story
wood frame*

Property 49 continued

- When the building is resided, clapboard should be used, and the original vertical and horizontal trim should be replaced.
- Downspouts should be repaired.
- The oversized "Taurus Leather" wall mounted sign should be removed and replaced by hand painted signs on the clerestory glass of the storefront, as the adjacent storefront demonstrates. All signage should be done this way; small projecting signs, similar to the projecting "Taurus Leather" sign may also be used.



74 - 76 Main Street

*Assabet Valley True Value Hardware/Model Craftsman Shop
(originally Fowler's Block)*



Built around 1917, Fowler's Block is a fine example of the vernacular, multi-story brick buildings that were built in the late Victorian period. On this handsome symmetrical facade, the cornice line is particularly interesting -- a stepped face of brick pulls above the bracketed wood cornice, expressing the lines of the piers. Attention is drawn to the middle bay of the facade with window openings that are larger than those of the side bays. Brick arches crown both the wide and narrow windows. The piers are topped by stone insets just below the brick cornice line.

An artist's rendering depicts the storefront as it was originally built in the 1910's. Narrow white wood bands framed glass openings between piers, but did not stretch across them. Unfortunately, the simplicity of the original storefront has been destroyed by the addition of the heavy horizontal wood band which now separates the elegant upper story from the base. The overly bold signage band cuts the piers in half, destroying the vertical quality they were meant to lend to facade. The original storefront glass also has been replaced.

Items to Preserve This elegant brick facade should never be sheathed in another facing material. The arched window openings should remain.

Recommendations Restoration of the facade should be made a priority. This should include removal of the wood signband and replacement of simple signage bands, between brick piers (never across the piers), to cap the storefront glass. These bands should be no taller than 18 inches. Removal of the signband may require cleaning and repainting of the masonry which exists beneath it.

- The directory which is mounted to the pier at the second floor should be removed and replaced by a directory at the entry

*Multi-story
masonry*

Property 50 continued

door to the upper floor. Signage should not be allowed on the upper facade.

- The wood cornice is stained and should be checked for water damage and repaired if necessary. It then should be painted white.



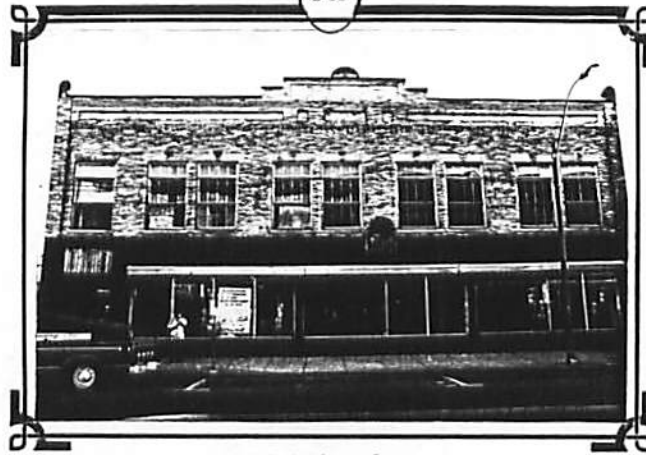
60, 62 Main Street

Brothers Fish and Pizza/Century 21 Realty Co.

It is unknown when this structure was built and/or remodeled. Its false shed roof is not of the same character as other one story buildings in the district. Obviously care was given to selecting windows and brick.

Recommendations Both signs should be replaced with long, narrow wood signs above the doors. Small wood projecting signs are acceptable.

- If the facade is remodeled, the false shed roof should be removed and replaced with a stepped, white wood cornice that incorporates signage.



56 Main Street

(originally Cannon's Block)



1906

Built around 1910, the Cannon's Block maintains a handsome buff colored brick facade on its upper floors but has been severely altered at its base. The handsome brick cornice, stepped to the middle, displays the restrained brick ornamentation that was popular when this structure was built. The playful, scrollwork finials to each end and the semicircular panel at the middle, enliven the top. There is a curious asymmetry about the placement of the window openings; although the cornice is symmetrical about its center, the paired windows do not center about the same point. The multi-panel windows, while not original, do mimic the three horizontal lines of the originals. Handsome stone lintels with keystones frame the top of the windows.

At one time an archway at the ground floor served as the primary entry to the floor above. It is likely that this has been destroyed. The original storefronts were long ago replaced.

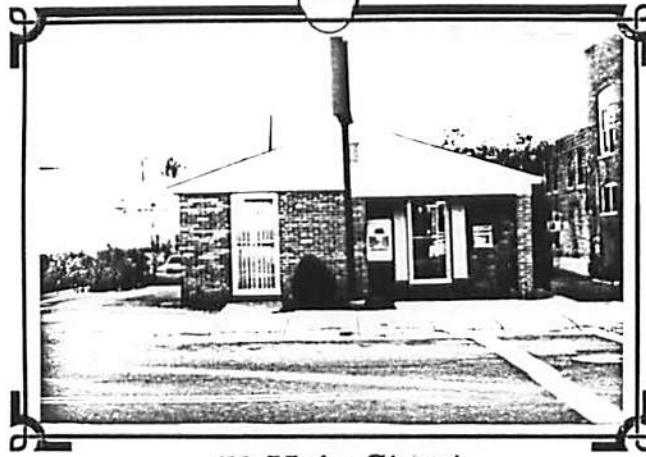
It is encouraging to note that this building is undergoing renovation. The owner should strive to recreate the original proportions of window openings and signage at the base.

Items to Preserve All masonry work that remains on the upper facade; all upper floor windows.

Recommendations Restore the ground floor in a similar manner to its original construction. Replace (or restore if it exists) the arched masonry panel at door to main building (to left side). Replace the storefront lintel at the same height as the original. Replace the storefront glazing to match the original.

- Clean upper floor masonry.
- If storm windows are added, they should be placed on the inside.

*Multi-story
masonry*



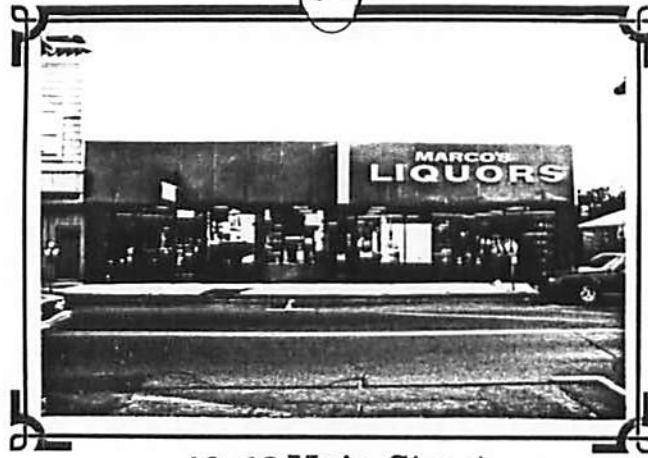
52 Main Street

Shawmut Community Bank

This is a rather plain bank building. It is unfortunate that it sits back from the line of the sidewalk. Its freestanding sign is too large.

Recommendations Build a front entry out to the line of the sidewalk, incorporating the imagery of a bank.

- Remove freestanding sign and provide wall mounted signage and/or a small projecting sign.



46, 48 Main Street

Marco's Liquors/Stewart's Florists

The wide aluminum signage band lacks the interest of other similar one-story buildings; rather, it looks stark and modern. Signage has not been placed well on the upper facade.

Recommendations Because this building just recently has been renovated, it is unlikely that the owner will wish to invest in changing the facade. If the upper part of the facade is redone, its design should mimic the traditional one-story block that exists at the crossing of Main and Nason Streets (Property 16 as an example). The horizontal and vertical banding of these traditional buildings would add a liveliness to this facade. Its color palette should be lightened as well.

- Signage should be improved. The large Liquor Store sign overshadows the diminutive Flower Store sign. These should both be replaced with similarly sized projecting signs.



40, 42, 44 Main Street

Family Dental Services/Look of Elegance

Although rather plain, this two-story wood frame building is appropriately scaled and detailed for its setting along Main Street. It is a vernacular building that likely was constructed around 1920. It retains a handsome bracketed cornice and a wide storefront.

It is unfortunate that when this structure was remodeled, much of its original detail was lost and/or covered. The original clapboard was replaced with wide strips of particle board siding. Siding also has been boxed around the original storefront cornice line; it is likely that a handsome signband exists below this siding.

Items to Preserve Wood cornice and bracketing.

- All detailing that may exist below current siding.

Recommendations Restoration of the original wood trim should be a priority for this structure. Removal of the siding above the storefront will reveal if the original cornice exists below. If it does, it should be restored and repainted; if it does not, it should be replaced.



32, 34, 36 Main Street

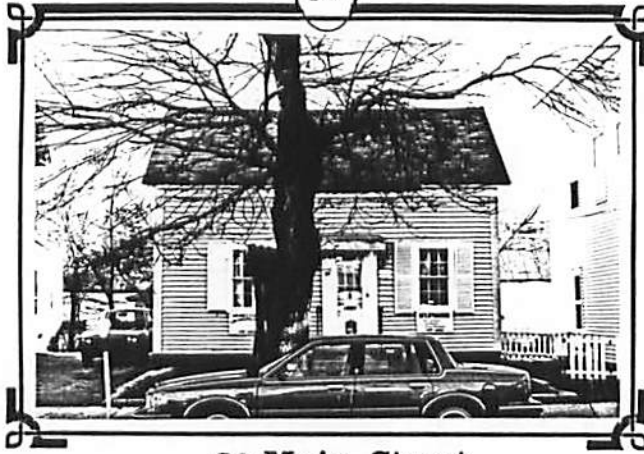
The Pleasant Cafe

Although this wood frame building has gone through many changes, its well maintained, white facade is a handsome addition to the streetscape. Its storefront windows retain their original openings and wood bases and trim. Shutters on upper floor windows enliven the facade. It is unfortunate that aluminum siding has replaced the original clapboard and boxed out the cornice line of the two-story block.

Items to Preserve The wood eave detail on the gable front and the storefront wood bases and trim.

Recommendations It is likely that much original wood trim exists below the aluminum siding. This can be checked by lifting certain sections of the siding. If it is determined that detail does exist, the siding should be removed and the original woodwork should be restored.

- In any case, the boxed portion of the cornice which is heavy and awkward on the two-story block should be removed and replaced by a more simple eave and bracket.
- If storefront glazing is replaced, it should incorporate a clerestory light at each storefront.
- Awnings might be added.

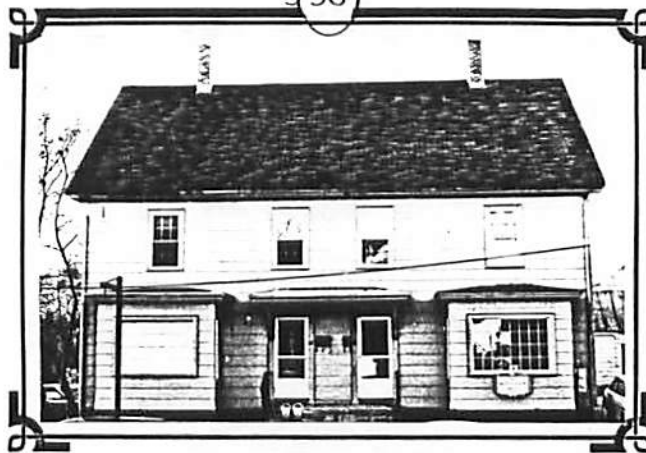


30 Main Street

Assabet Valley Counseling

This small house has been restored with care. Its lively rose color and simple door and shutters provide it with a traditional look.

Recommendations Plant grass and/or flowers in the front yard.

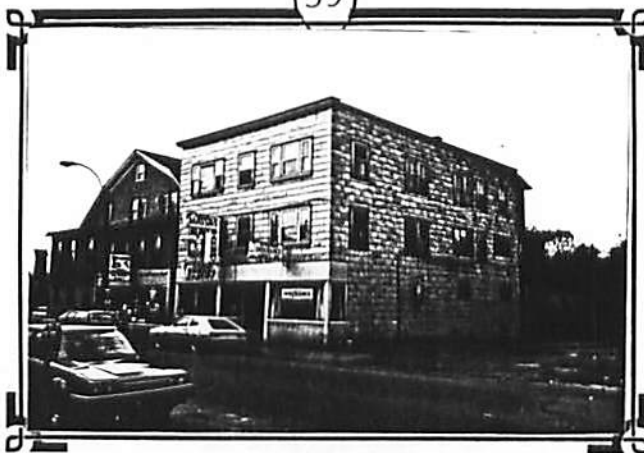


26, 28 Main Street
Columbo's Barber Shop

Just one half of this duplex is used for business purposes; the Barber Shop is unobtrusive on the facade and should remain so. It is unfortunate that when the building was resided, much of its original wood detail was destroyed.

Recommendations The building, if resided, should use clapboard. In any case, the structure should be painted in a lighter, whitish color.

- The canopy over the door should be highlighted in a contrasting color.



20, 16 Main Street

Littlefield Insurance/Massa's Bakery

Renovation of the structure years ago destroyed much original detail. Neither the particle board siding or its color have aged well and should be replaced. Aluminum storefront panels and the brick base lack interest as well. On the other hand, the symmetry of the facade and the wide, three-part windows are elegant.

Items to Preserve Front facade windows and their trim.

Recommendations Reside building with clapboard.

- The storefront should be redesigned with wood detail, to match similar historic storefronts of this building type (as example, Property 38).
- Remove oversized signage and provide new signage at the signband.



12, 14 Main Street

R. Salamone & Sons Grocery

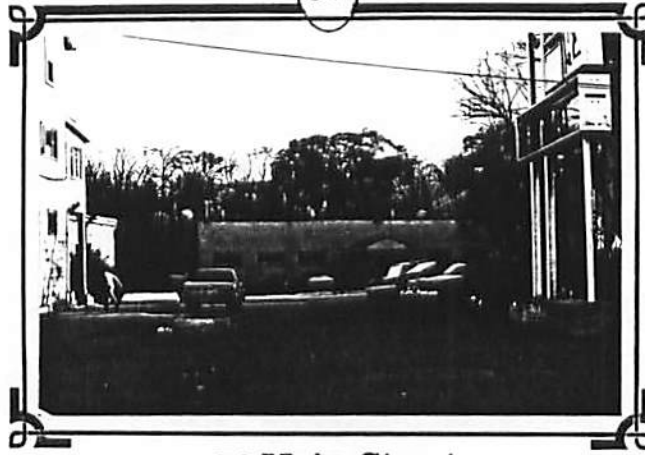


The original, wood frame market has been greatly altered through the years. The building once sat back from the road until the two-story "porch" front was added. It is likely that this addition was added in two stages, because the windows are not in a level line across the second story. The choice of asphalt siding for the building was poor.

Recommendations Reside the building with clapboard.

- Redesign the storefront sections so that there is a consistent line across the base. The storefront should match similar historic storefronts for this building type (as example, Property 38).
- Provide new signage incorporated into the new storefronts.
- Provide an improved entry to the upper floors with a covering over the main entry door.

*Multi-story
wood frame/
converted
house*



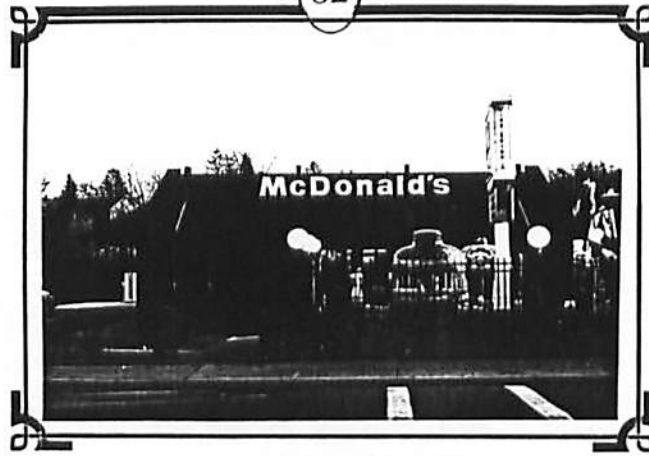
24 Main Street

Tobins Bowling Alley

Because the bowling alley sits to the rear of this site, its image on the street is given by its freestanding sign.

Recommendations Landscape the entry drive along the street and back towards the building at the back of the site.

- Remove the decrepit, freestanding sign and provide a new, smaller sign at the street possibly incorporating a gate or fencing element.



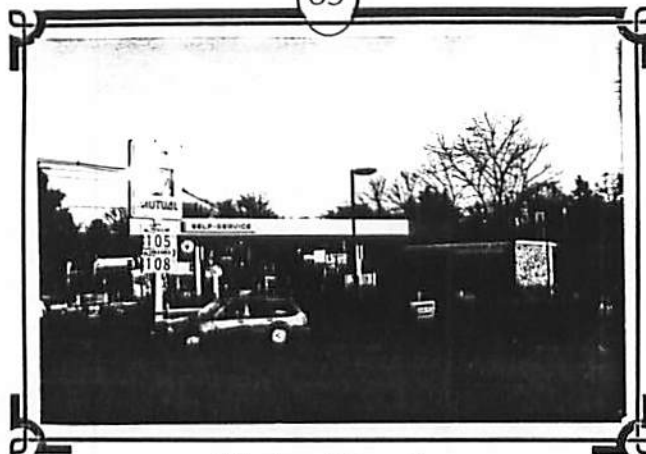
4 Main Street

McDonald's

The typical McDonald's building is not representative of the type of town buildings that make up Maynard's image; it is unfortunate that this type of highway strip development has begun to encroach on Main Street. At least in this case, parking is kept back from the street and the restaurant has tried to maintain the sidewalk edge with its playground in front. Unfortunately, the brick piers and fencing are quite heavy and oppressive, and signage is oversized.

Recommendations Paint the fence and brick piers white.

- Remove the freestanding sign and incorporate a smaller sign into the fencing.



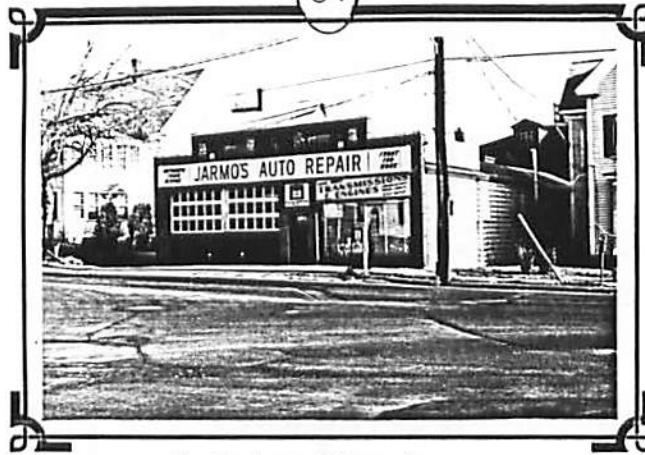
Main Street

Mutual Self Serve Gas Station

As is normal for gas stations, this structure sits back from the street and maintains a a broad canopy to cover the gas pumps.

Recommendations The station should provide a planting strip along the sidewalk, and minimize curb cuts.

- It would be wonderful if this station chose to remodel its canopy and building to reflect more of the image of a traditional town instead of a highway strip.



5 Acton Street
Jarmo's Auto Repair

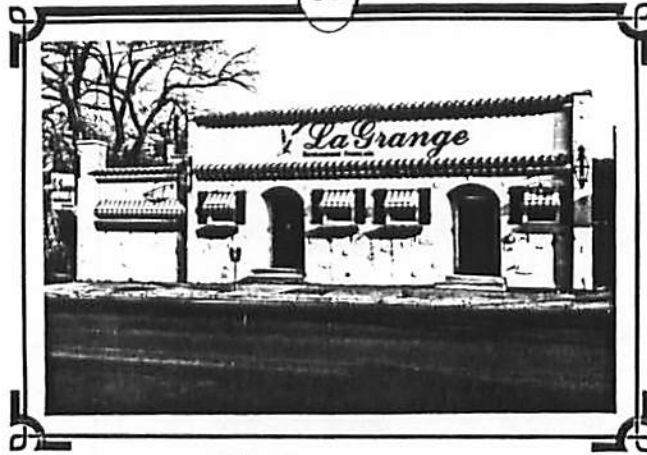
Built to serve as a commercial garage, this structure has a playful masonry facade. Unfortunately, oversized signs hide its detail.

Items to Preserve The masonry facade with its stepped cornice.

- The "quoined" corners where the brick forms a sawtooth pattern with the block sidewall.
- The size and shape of existing openings, and multi-paned garage doors.

Recommendations Remove all signage and provide a single wall mounted sign to fit into the architectural frame.

- Paint existing garage doors and pedestrian doors in the same color, using either a salmon or ivy color.

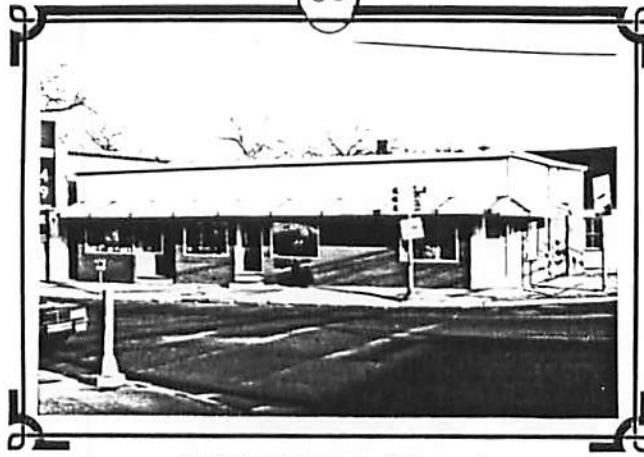


4 Waltham Street
La Grange Restaurant

The stucco and wood facade of the restaurant is painted in a lively color palette that provides interest along the street. Its signage and canopy contribute, in a charming way, to its French image. Its side facade, facing the river is quite visible and well maintained.

Items to Preserve Front facade imagery, including signage, title, awnings, planters, and shutters.

Recommendations None.



8 Waltham Street

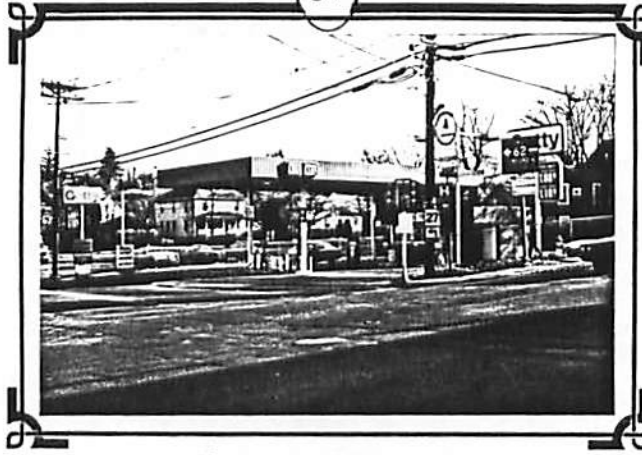
Samuel's Photography Studio



Renovation of this building sometime in the late 1960's removed the original clapboard siding and replaced it with a simulated brick base and aluminum siding. In fact, the original wood detail was quite charming and it is unfortunate that it was removed. The current aluminum awning is not as nice a canopy as other canvas awnings throughout downtown.

Recommendations The one-story height is rather low to mark this major intersection. If the facade is redesigned, it should include a vertical emphasis at the corner.

- The awning should be replaced with a canvas awning.
- If, at some point, the owners choose to renovate the facade, replace plastic brick siding with wood clapboard.
- Add signage above awning or project appropriately sized sign at corner.

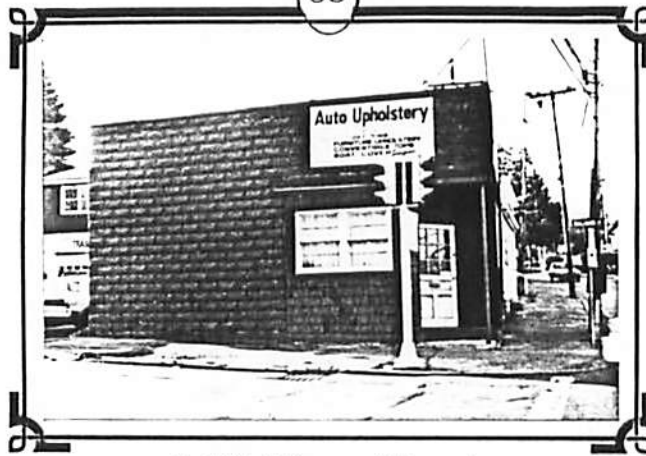


Waltham Street
Gas Station

Set back from the intersection, this gas station occupies a prominent corner site.

Recommendations Provide plantings along the street edge, and reduce curb cuts.

- Provide a landscaping and a white picket fence along the Waltham Street edge.
- It would be wonderful if this station chose to remodel its canopy and building to reflect the image of a town rather than a highway strip.



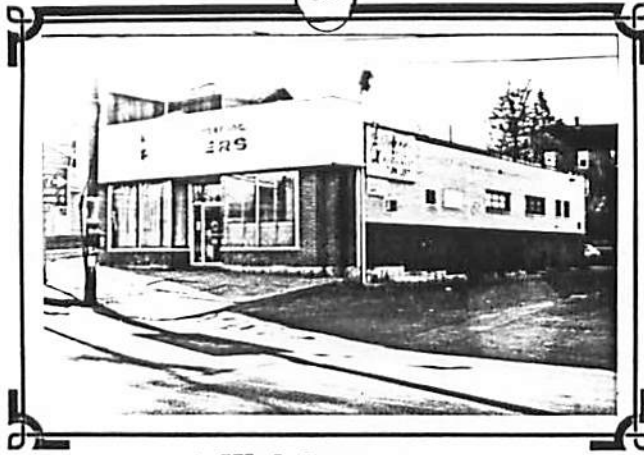
9 Waltham Street

Auto Upholstery & Company

This concrete block building is a rather small structure to mark this primary corner. Of interest is its corner entry.

Recommendations Improvements should be directed at the corner entry, adding vertical height and interest with signage and a false wall.

- The concrete block should be painted a light color.



7 Waltham Street
Murphy and Snyder Printers

This one-story facade has a simple brick base and a heavy cornice/signband sheathed in aluminum. The signband is too deep for the base.

Recommendations The signband should be better designed to "fit" the base. Its corners should step back as do those of the brick base. It should have a detailed top and bottom, incorporating signage between vertical lines.



5 Waltham Street

Store 24

This simple box sits back from the street and focuses all attention on cars parked in front of it.

Recommendations Because the structure sits so far back, its wide street frontage of asphalt should be visually buffered by a line of planting between its two curbs cuts.

- Entry and exit should be appropriately signed.



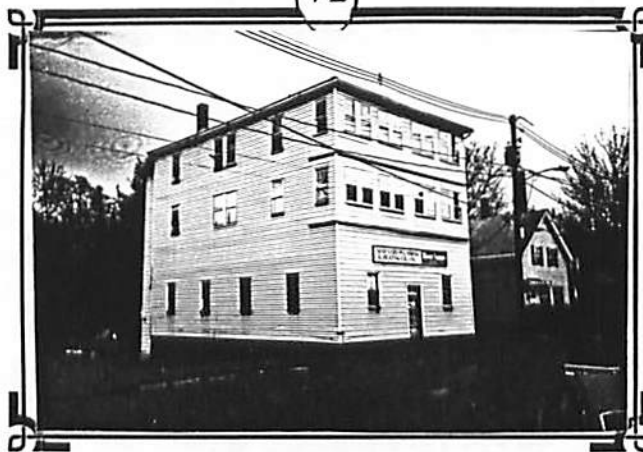
37 River Street

Body Works

This auto garage maintains a simple facade with the large openings for garage doors. Although it does not face River street, it is quite visible from the road.

Recommendations Paint garage doors white.

- Provide planting strip/buffer along River Street edge.



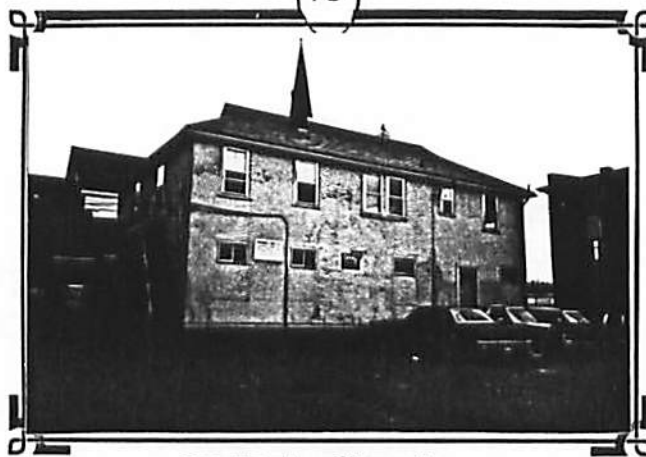
31 River Street

Maynard Plumbing & Heating

This house converted into an office retains the image of wide, open porches across its front. Aluminum siding has been placed on the facade, covering much original detail.

Recommendations Remove aluminum siding and repair clapboard.

- Improve storefront base with wider windows.
- Tie signage into a building lintel that stretches across the base, as in the multi-story wood frame building.



80 Main Street

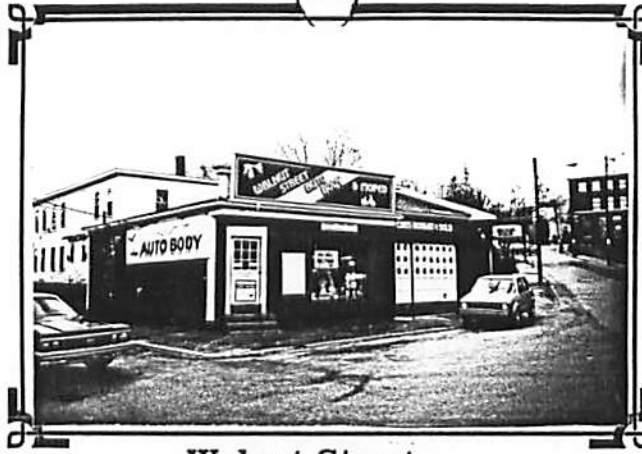
Vacant

This stucco house sits back from Main Street, against the lawn of the church. It retains its houselike image although it has been used in recent years as a real estate office.

Items to Preserve Roof line and window openings.

Recommendations Improve facade with light colored clapboard.

- Provide landscaping along River Street.



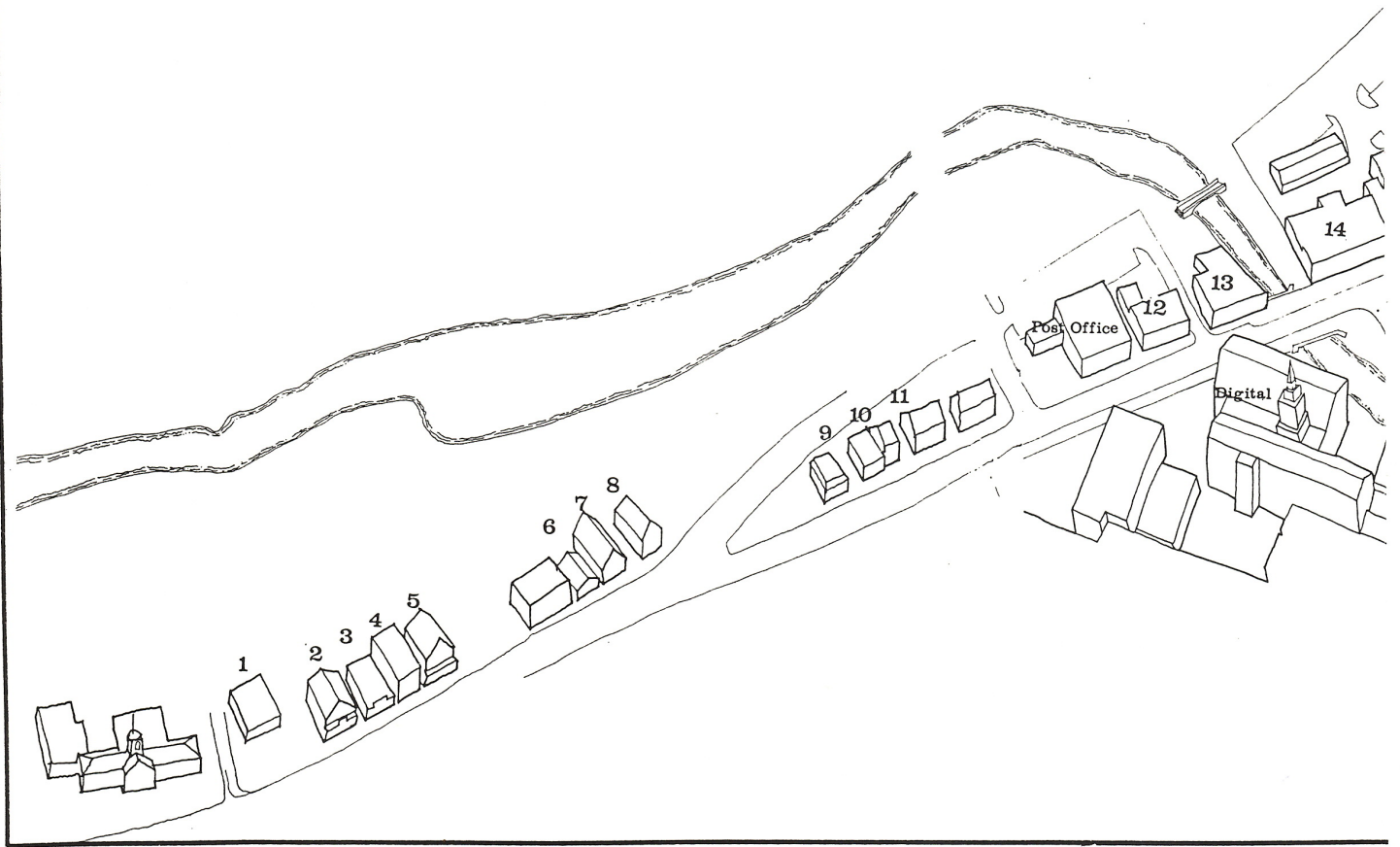
Walnut Street

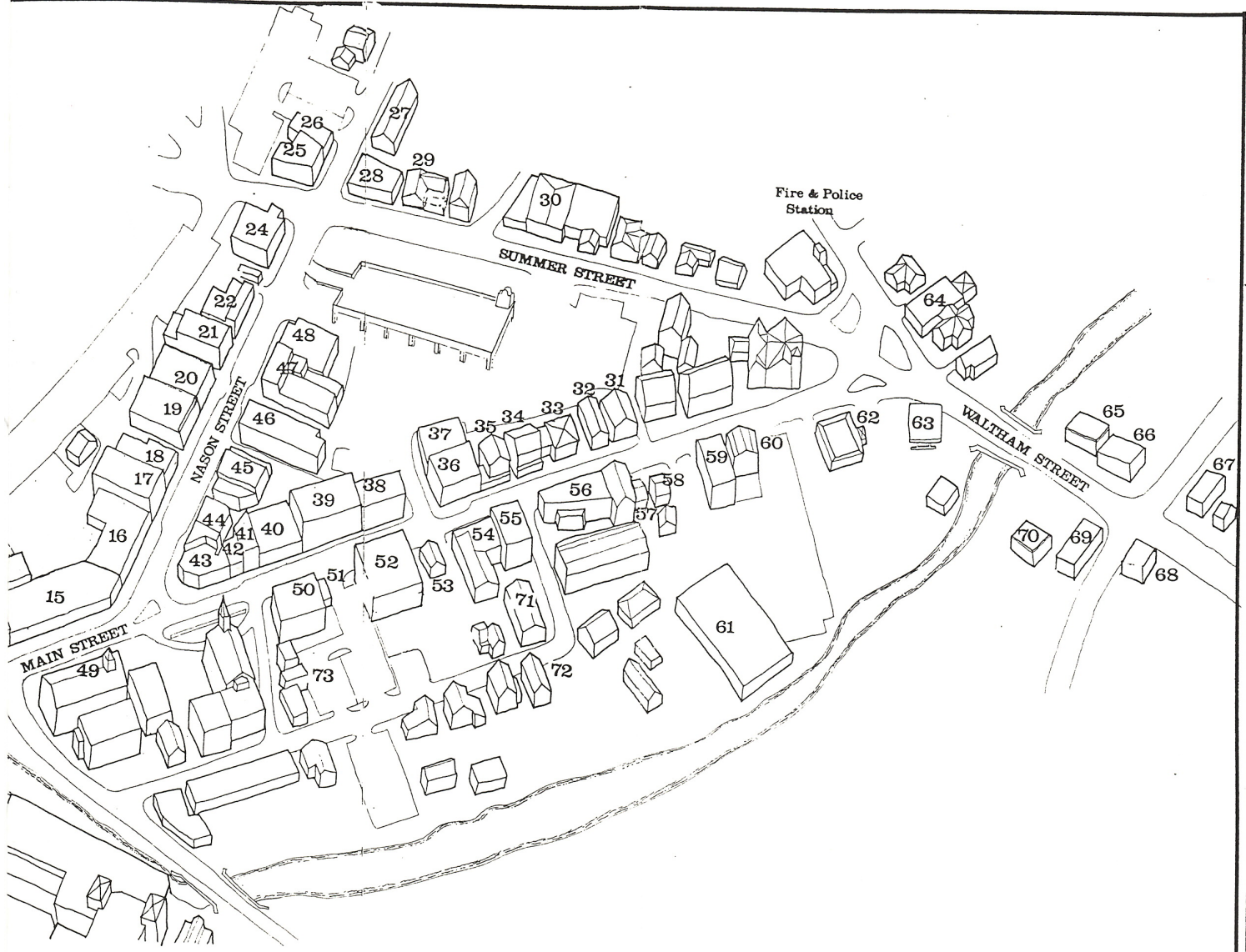
Walnut Street Auto Body

This auto garage sits prominently on the corner of Walnut and River Street. Although it is a simple one story structure, it will be important to upgrade its facades as it will sit along the "riverwalk".

Recommendations Paint garage doors white.

- Provide small scale signs fit to architectural frame.
- Clean up rear yard and provide low, picket fence along street.





PROPERTY INDEX
TOWN OF MAYNARD
COMMERCIAL DISTRICT